

City of Cranston
Zoning Board of Review
Application

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review
35 Sockanosset Crossroad Suite 6
Cranston, RI 02920

Date: 12.22.20

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HERINAFTER SET FORTH.

OWNER: LINDA B. MARCHETTI TRUSTEE OF LINDA B. MARCHETTI REVOCABLE TRUST

ADDRESS: 562 LAUREL HILL AVE CRANSTON, R.I. ZIP CODE: 02920

APPLICANT: BRIAN COYCHER

ADDRESS: 444 LOG ROAD SMITHFIELD, R.I. ZIP CODE: 02914

LESSEE: N/A

ADDRESS: _____ ZIP CODE: _____

1. ADDRESS OF PROPERTY: LAUREL HILL AVENUE

2. ASSESSOR'S PLAT #: 7 BLOCK #: _____ ASSESSOR'S LOT #: 1052 WARD: _____

3. LOT FRONTAGE: 50 LOT DEPTH: 100 LOT AREA: 5,000 S.F.

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: B1
(ZONE) (ARBA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: N/A PROPOSED: 25'-6"

6. LOT COVERAGE, PRESENT: 0 PROPOSED: 22%

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 60+ YEARS

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? YES

9. GIVE SIZE OF EXISTING BUILDING(S): 10'X12' WOOD SHED TO BE REMOVED

10. GIVE SIZE OF PROPOSED BUILDING(S): 28'X40'

11. WHAT IS THE PRESENT USE? VACANT LOT

12. WHAT IS THE PROPOSED USE? RESIDENTIAL DWELLING

13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: ONE FAMILY

Brian 401-524-1926

DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS:

CONSTRUCT A TWO STORY WOOD FRAME ONE FAMILY DWELLING, INCLUDING HOOK UP TO PUBLIC UTILITIES, INSTALL DRIVEWAY AND LANDSCAPING.

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? No

16. WERE YOU REFUSED A PERMIT? No

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.

SECTION 17.92.010 A-C
Section 17.20.120

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE:

THE GRANTING OF THIS VARIANCE WOULD BE IN CONFORMANCE WITH THE SURROUNDING NEIGHBORHOOD AND THERE WILL BE NO ADVERSE IMPACT ON THE HEALTH, SAFETY AND WELFARE OF THE COMMUNITY.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

Linda B Marchetti
(OWNER SIGNATURE)
LINDA B. MARCHETTI, TRUSTEE OF THE
LINDA B. MARCHETTI REVOCABLE TRUST 2005
(OWNER SIGNATURE)

401-413-1626
(PHONE NUMBER)

Brian Couther
(APPLICANT SIGNATURE)
BRIAN COUTHER

401-524-1926
(PHONE NUMBER)

Alfred Russo Jr.
(LESSEE SIGNATURE)
(ATTORNEY SIGNATURE)

401-944-2647
(PHONE NUMBER)

ALFRED A. RUSSO JR.
(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: 1405 PLAINFIELD STREET JOHNSTON, R.I. 02919

PRE-ZONING APPLICATION MEETING: [Signature] 1/11/21
(PLANNING DEPT. SIGNATURE) (DATE)

Please add section 17.20.120 to item #17 for Lot Area + Frontage.

ALL EXTERIOR WALLS SHALL BE 2x6 FRAMING @ 16" O.C.
 ALL INTERIOR WALLS SHALL BE 2x4 FRAMING @ 16" O.C.
 HEADERS
 (2) 1-3/4x9-1/4 LVL HEADER OVER DOORS & WINDOWS

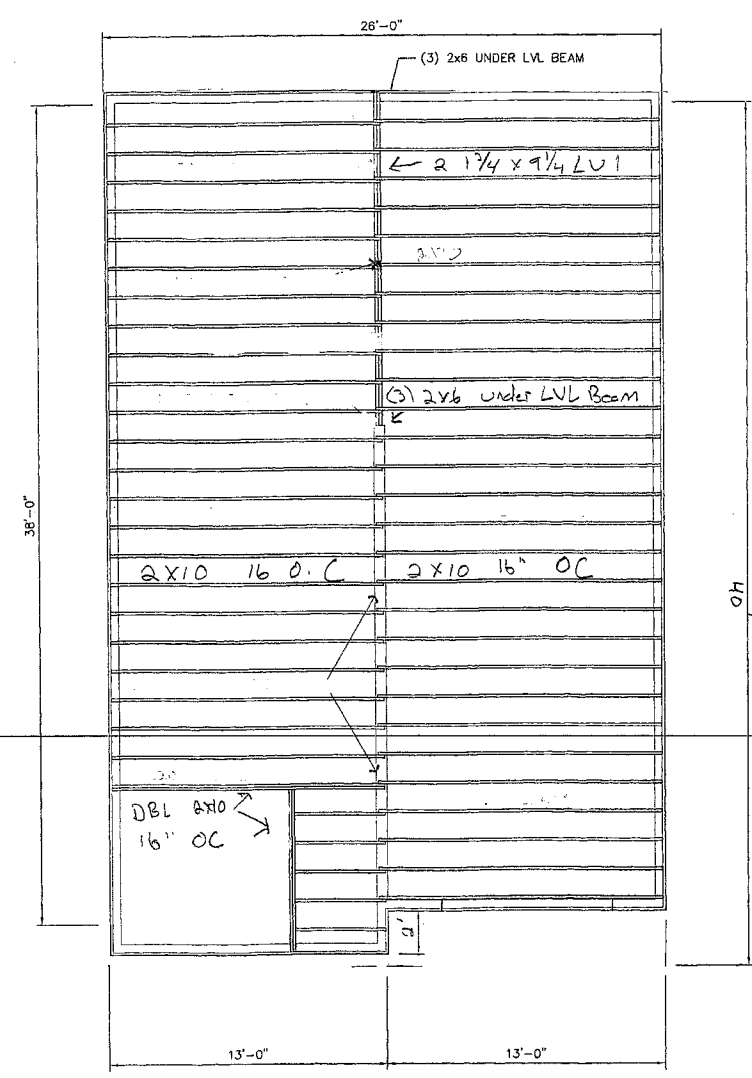
INSULATION:
 WALL R-20
 FLOOR R-38
 ROOF R-38
 WINDOW U-VALUE: 0.33

DOOR SCHEDULE		
NO.	ROUGH OPENING	TYPE
①	3'-2 1/2" x 6'-10 1/2"	3'-0"x6'-8" STEEL EXTERIOR
②	2'-8 1/2" x 6'-10 1/2"	2'-6"x6'-8" WOOD INTERIOR
③	5'-2 1/2" x 6'-10 1/2"	5'-0"x6'-8" GLASS EXTERIOR

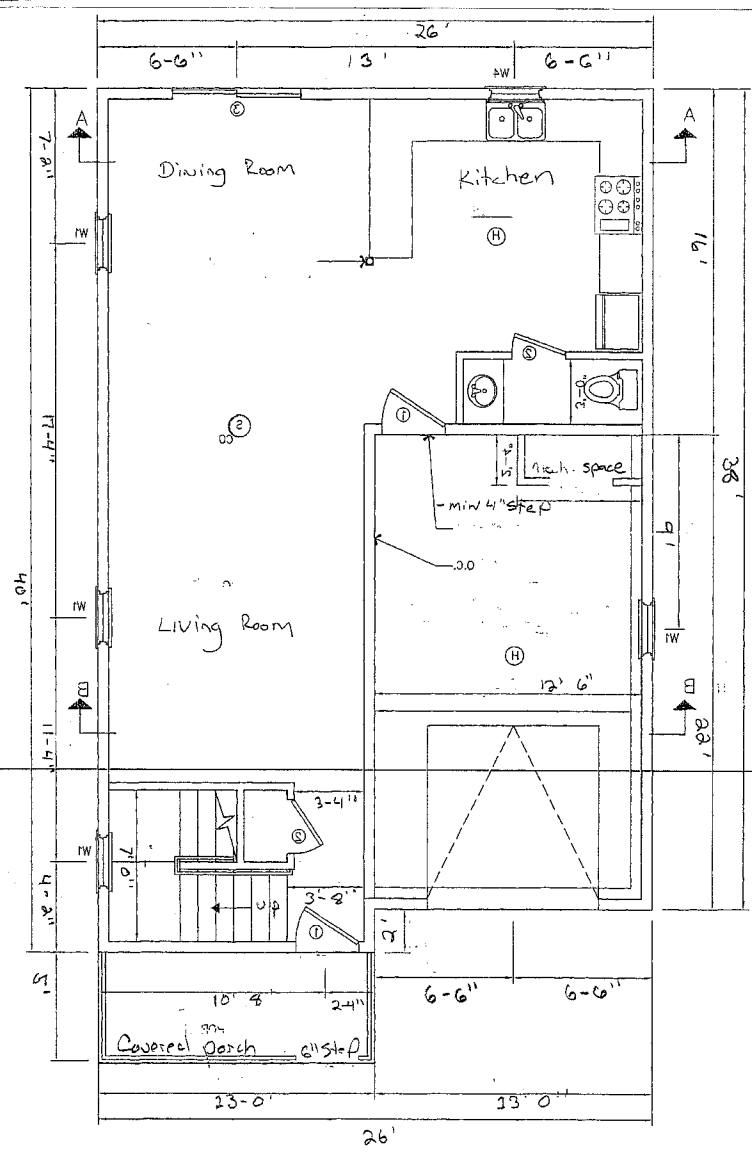
WINDOW SCHEDULE			
NO.	UNIT DIMENSION	DESIGNATION	TYPE
W1	3'-2" x 4'-9 1/2"	3046	DOUBLEHUNG
W2	6'-2 1/4" x 4'-9 1/2"	3046-2	DOUBLEHUNG
W3	2'-8 1/8" x 1'-3 3/8"	2813	CASEMENT
W4	2'-10" x 3'-1 1/2"	28210	DOUBLEHUNG

NOTES:
 1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURE PRIOR TO CONSTRUCTION.
 2. WEATHER STRIPPING REQUIRED FOR ALL EXTERIOR DOORS

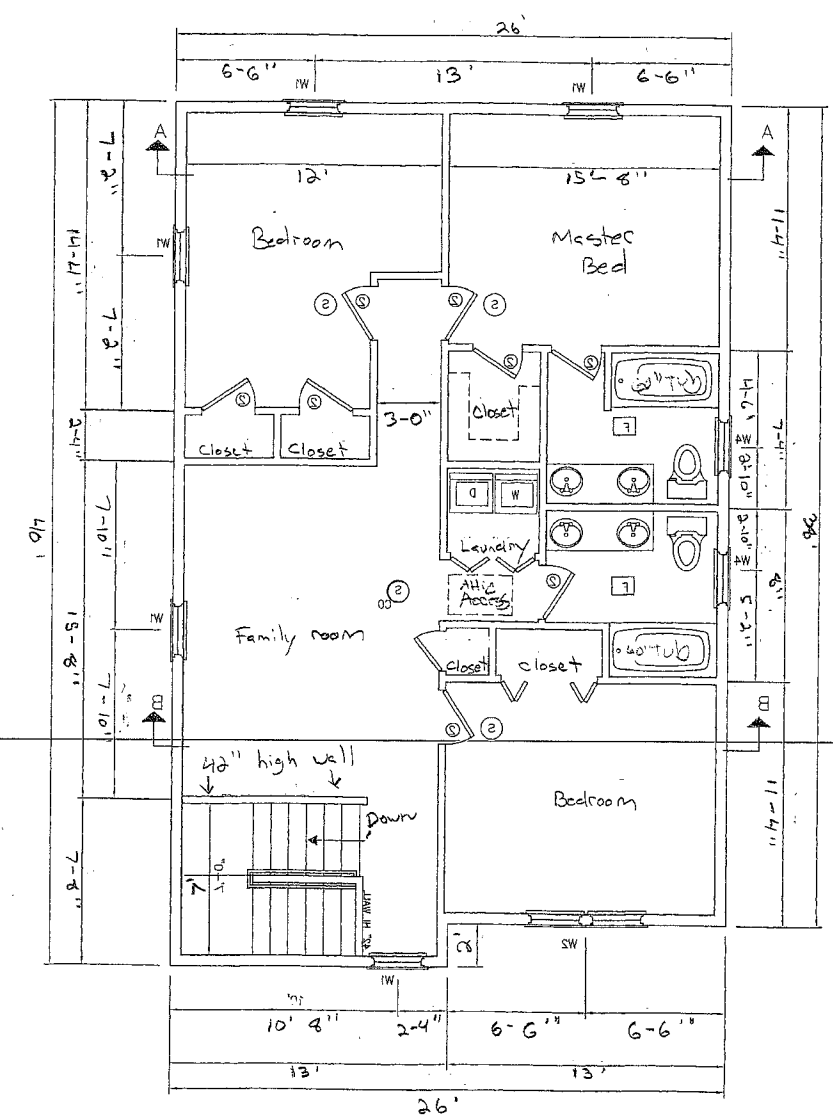
USE ANDERSEN DOUBLE PANE WINDOWS
 NOTES:
 1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURE PRIOR TO CONSTRUCTION.
 2. HEADER HEIGHTS TO BE 6'-10" TO BOTTOM UNLESS OTHERWISE NOTED.
 4. SILL HEIGHT FROM FINISH FLOOR MIN. 24", AND MAXIMUM 44" FROM FINISH FLOOR



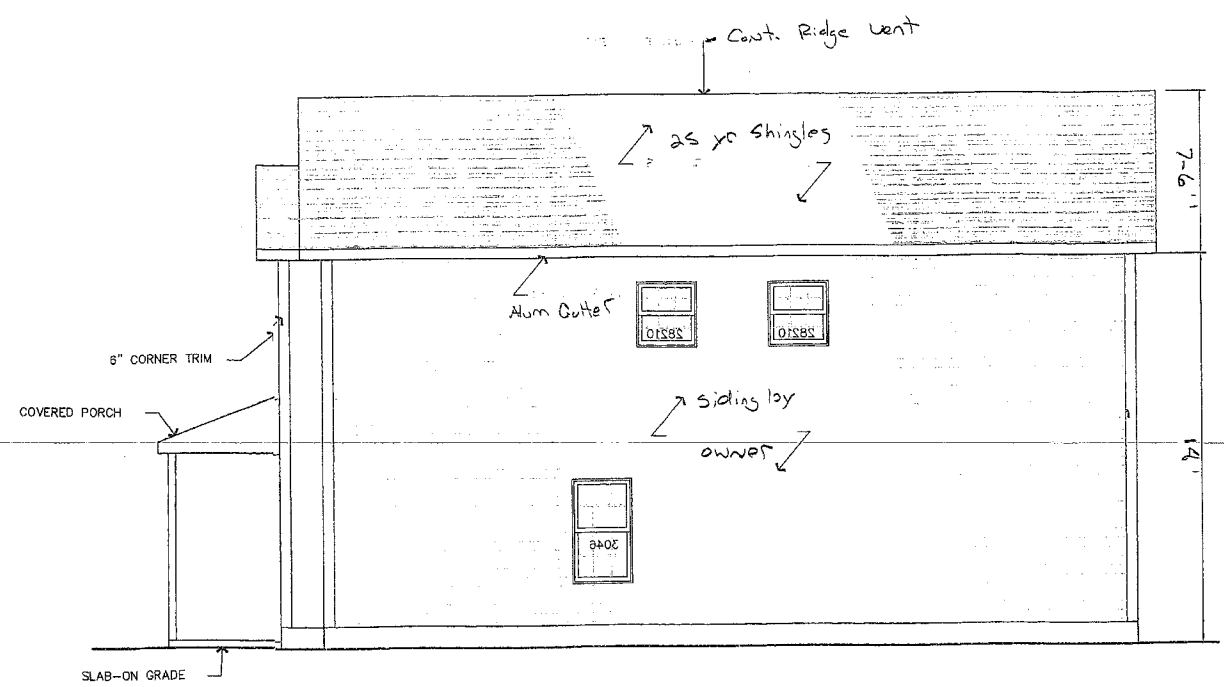
SECOND FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"



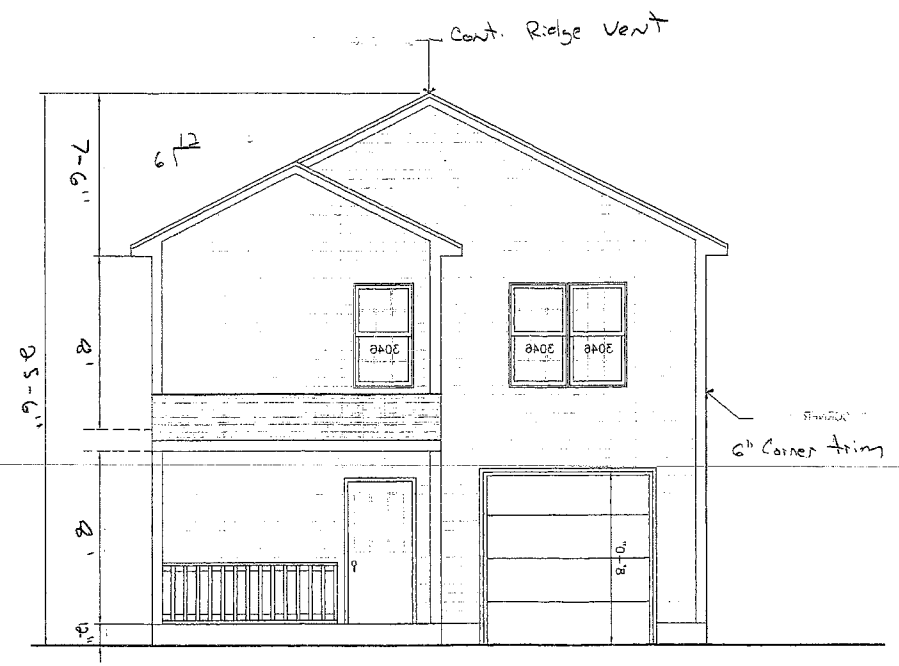
FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"



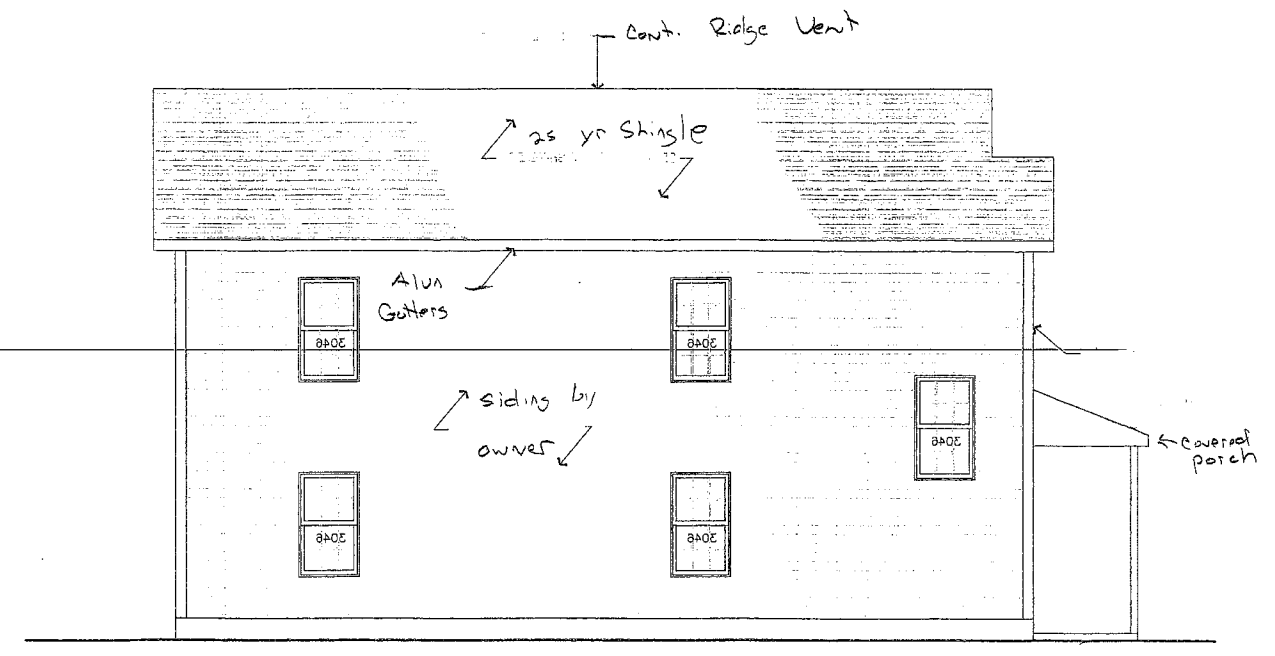
SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



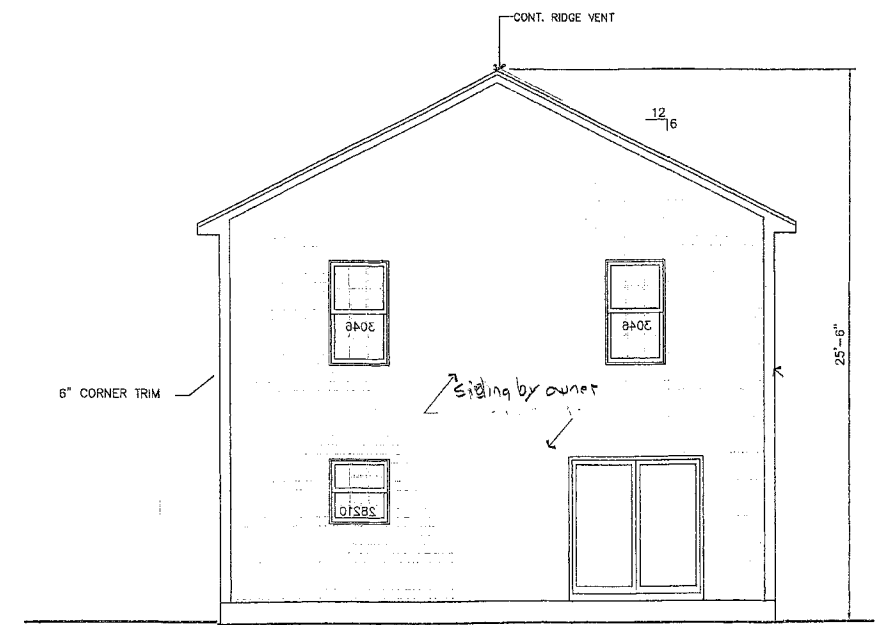
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



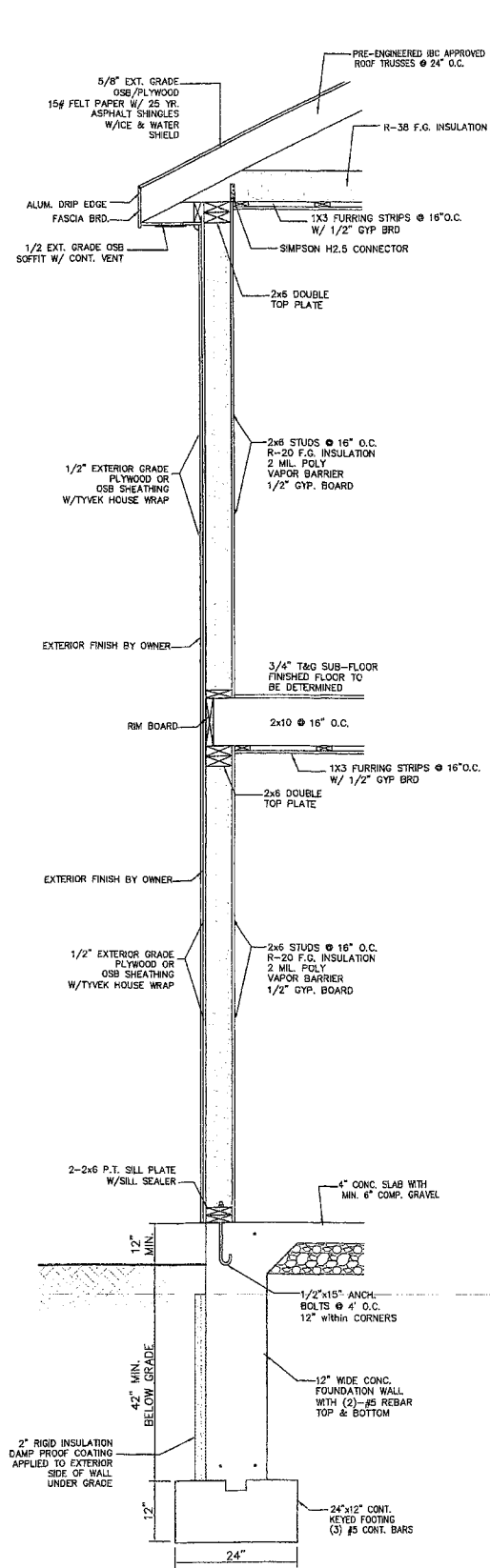
FRONT ELEVATION
SCALE: 1/4"=1'-0"



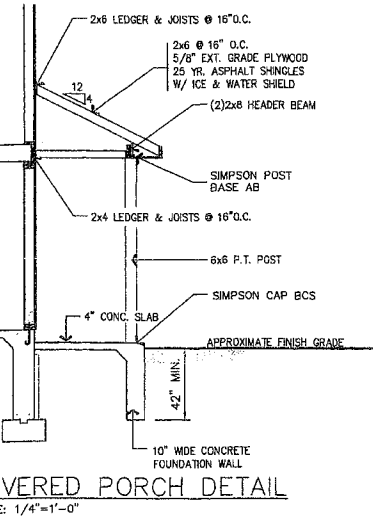
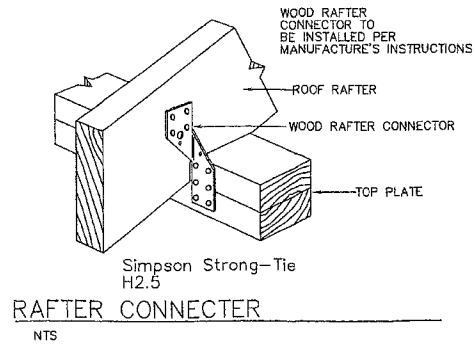
LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



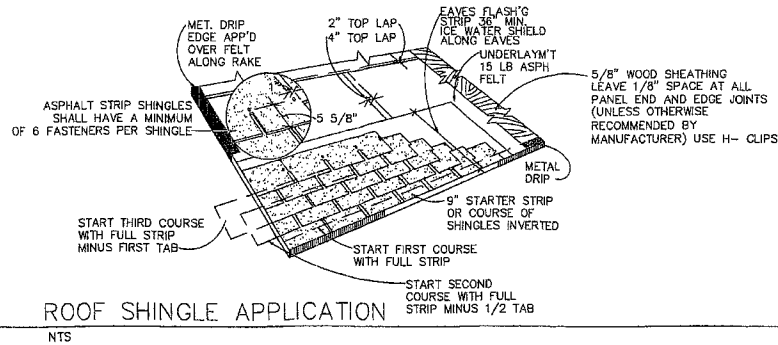
REAR ELEVATION
SCALE: 1/4"=1'-0"



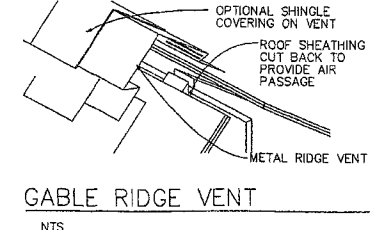
WALL DETAIL TYP.
NOT TO SCALE



COVERED PORCH DETAIL
SCALE: 1/4"=1'-0"



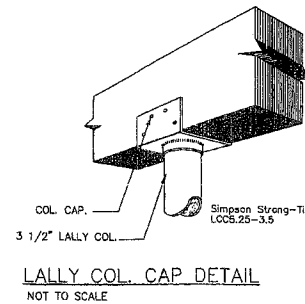
ROOF SHINGLE APPLICATION
NTS



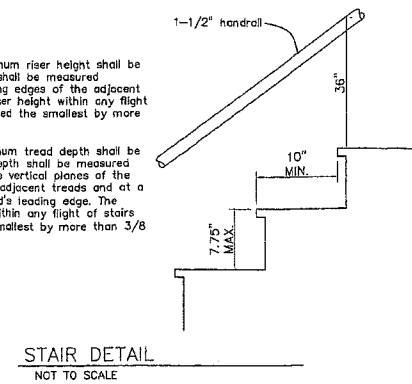
GABLE RIDGE VENT
NTS

STAIR NOTES:
Riser height. The maximum riser height shall be 7.75 inches. The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch.

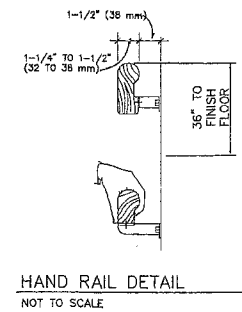
Tread depth. The minimum tread depth shall be 10 inches. The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch.



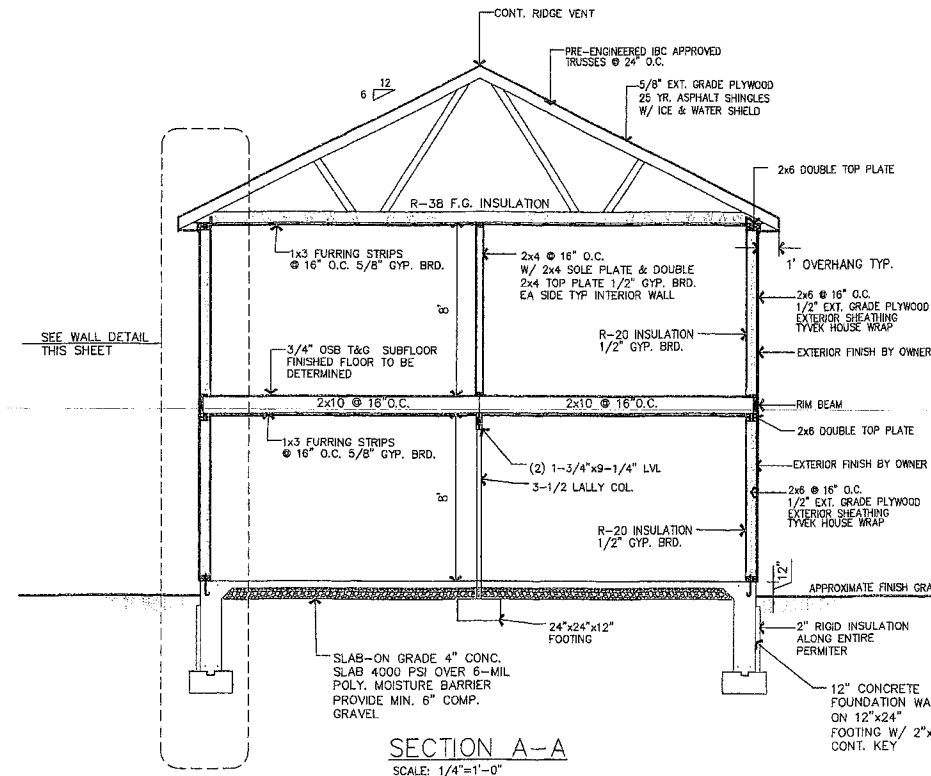
LALLY COL. CAP DETAIL
NOT TO SCALE



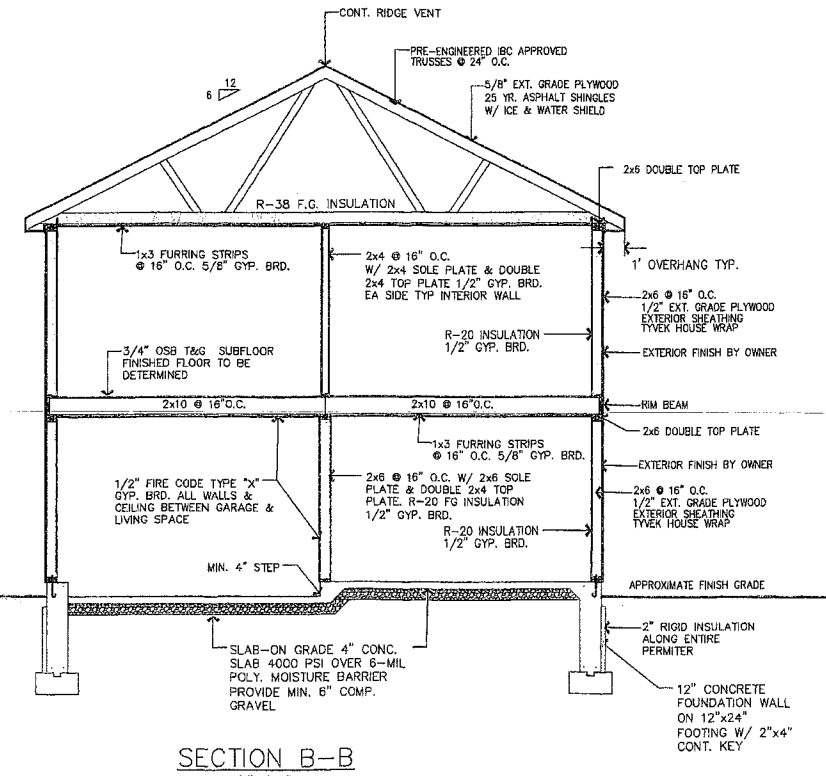
STAIR DETAIL
NOT TO SCALE



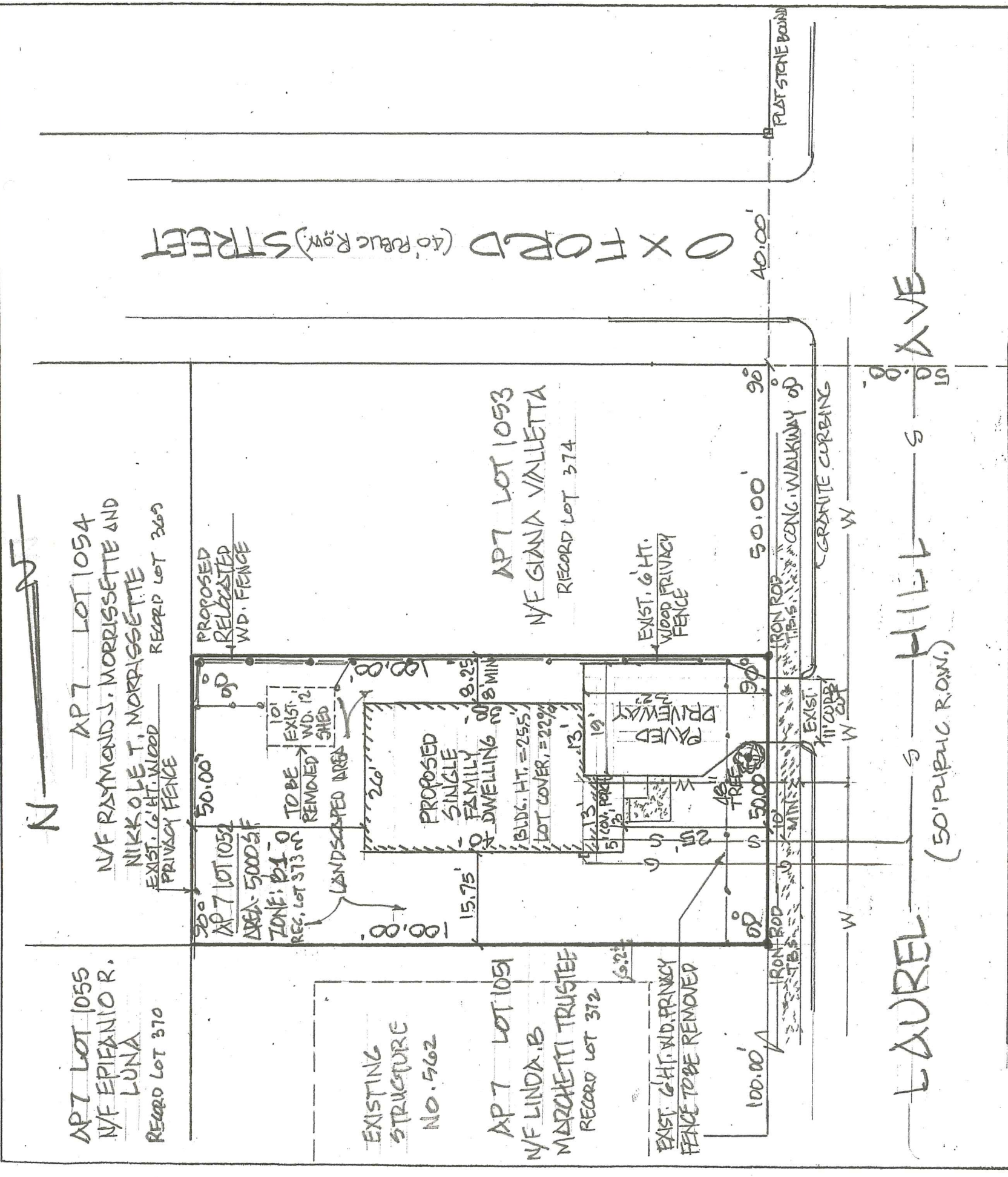
HAND RAIL DETAIL
NOT TO SCALE



SECTION A-A
SCALE: 1/4"=1'-0"



SECTION B-B
SCALE: 1/4"=1'-0"



District	Minimum Lot Area (sq. ft.)*	Minimum Lot Width and Frontage (ft.)	Minimum Yards (ft.) Front	Minimum Yards (ft.) Rear	Minimum Yards (ft.) Side	Maximum Lot Coverage	Maximum Building Height*
B-1 and B-2 (single-family)	6,000	60	25	20	8	35	35

UTILITY DISCLAIMER
 LOCATION OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES AND STRUCTURES INDICATED ARE APPROXIMATE ONLY, AND THOSE INDICATED ARE NOT NECESSARILY ALL WHICH MAY EXIST ON THE SITE. CONTRACTOR SHALL DETERMINE ACTUAL LOCATIONS OF ALL UTILITIES AND STRUCTURES ON THE PROJECT SITE, WHETHER THEY ARE INDICATED OR NOT. CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE TO THE UTILITY LINES, WHETHER SHOWN ON THE PLANS OR NOT, DURING WORK ON THE PROJECT.

CERTIFICATION

This survey has been conducted and the plan has been prepared pursuant to Section 9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on Nov. 25, 2015 as follows:

Type of Boundary Survey:
LIMITED CONTEST BOUNDARY SURVEY CLASS-I
DATA ACCUMULATION CLASS III

The purpose for the conduct of the survey and for the preparation of the plan is as follows: **ZONING APPLICATION**

By: *Nicholas Veltri* 12-31-20



NICHOLAS VELTRI, R.P.L.S.
 COA - A48

PLAN
 1"=20'

REFERENCES

"THE ST. GEORGES HEIGHTS PLAT"
 DEC. 1887 SCALE: 1"=100' PLAT CARD G3
 CITY OF CRANSTON LAND EVIDENCE RECORDS

OWNER: LINDA B. MARCHETTI, TRUSTEE
 562 LAUREL HILL AVE
 CRANSTON, R.I. 02920

APPLICANT: BRIAN COUTCHER
 444 LOG ROAD
 SMITHFIELD, R.I. 02917
 TEL. 401-524-1926

N. VELTRI SURVEY, INC.
 SURVEYING-LAND PLANNING
 JOHNSTON
 NARRAGANSETT

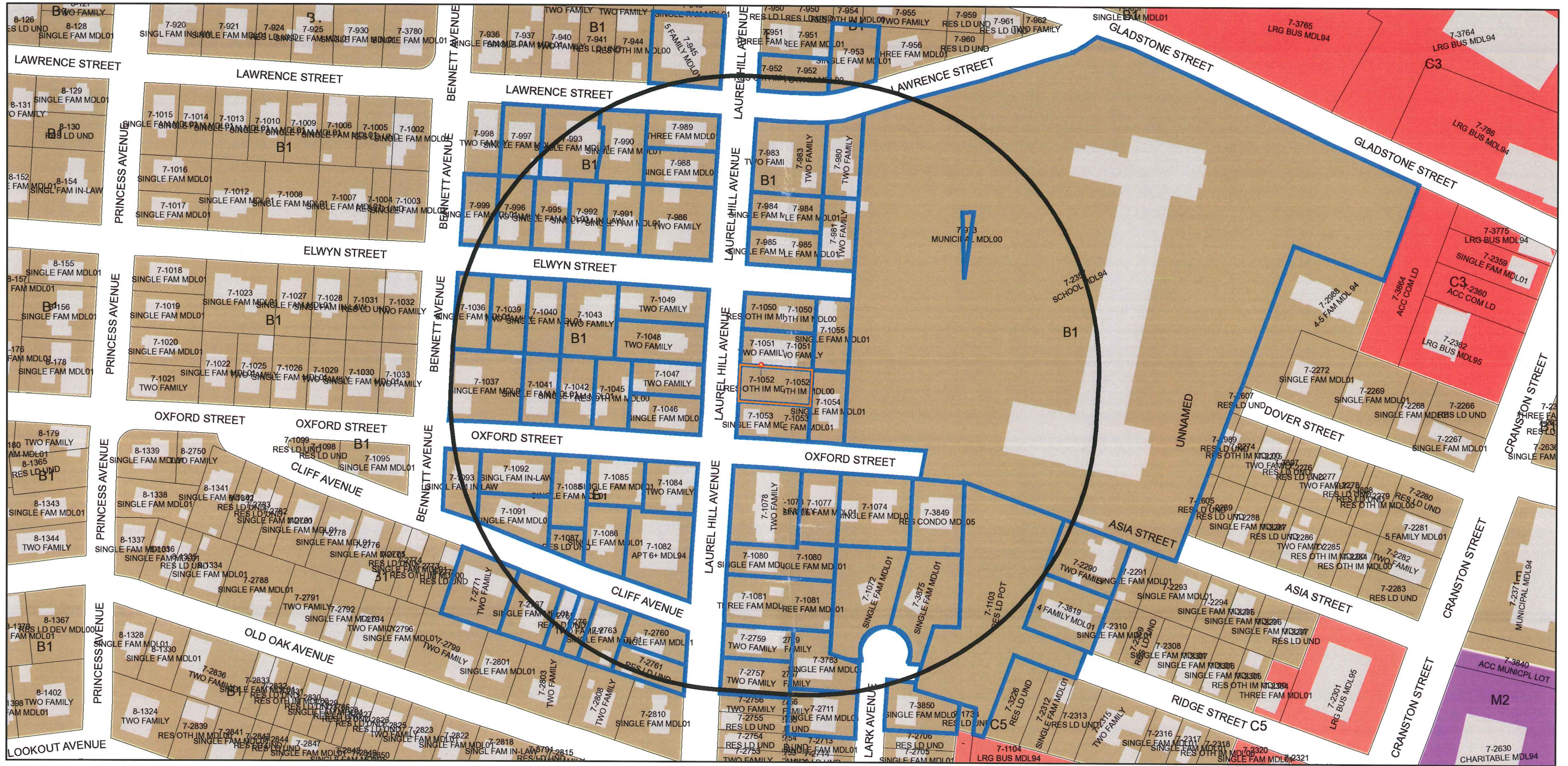
PROPERTY SITE/SURVEY PLAN
 CRANSTON, R.I. AP 7 LOT 1052
 PREPARED FOR: BRIAN COUTCHER

SCALE AS NOTED DRAWN: N.V.

NO.	DATE	REVISION
	12.20	ORIG. ISSUE

SHEET 1 OF 4 SHEETS
 CHECKED BY: N.V.

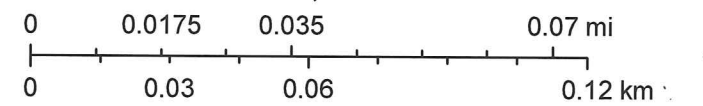
0 Laurel Hill Ave 400' Radius Plat 7 Lot 1052



12/18/2020, 9:43:08 AM

1:1,619

- | | | | | |
|-------------------|---------------------------|-----|----|-------|
| Parcel Outlines | Buildings | A20 | C1 | M2 |
| Plat Boundaries | Zoning Dimensions | A12 | C2 | E1 |
| Parcel ID Labels | Historic Overlay District | A8 | C3 | MPD |
| Streets Names | Zoning | A6 | C4 | S1 |
| Cranston Boundary | none | B1 | C5 | Other |
| Parcels | A80 | B2 | M1 | |



City of Cranston
City of Providence, Department of Planning and Development